



CLIPPER ESTATES  
HOMEOWNER'S ASSOCIATION

# **DESIGN GUIDELINES**

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FEBRUARY 1995

INTRODUCTION	1	Details:	
THE DESIGN REVIEW PROCESS	1	Doors	21
		Windows	21
		Shutters	21
Design Review Approval	2	Fascia. Eaves and Soffits	21
Architectural Submission	2	Porches	21-22
Landscape Architectural Submission	3	Steps and Stairs	22
		Roofs	22
SITE DESIGN	4	Materials and Design	23
		Dormers	23
Building Setbacks	5-6	Skylights	23
Grading and Drainage	7	Solar Collectors	23
Driveways and Walkways	8	Chimneys and Slack Vents	23-24
Walls and Fences	8-9	Ancillary Structures:	24
Landscaping:	9-10	Garages	24
		Gazebos	25
Recommended Plant Materials	11-15	Storage Sheds	25
Street scape:	16	Air Conditioning and Meter Boxes	25
Address Numbers	16	Decks	25
Mailboxes	16	Arbors and Trelliage	25
Flagpoles	16	CONSTRUCTION RESTRICTIONS	26
Site Amenities:	16		
Tennis Courts	16	Operations	26
Pools, Spas and hot Tubs	16	Site Maintenance:	27
Radio and Television Antenna	17	Vacant Lots	27
Bulkheads	17	Construction Site	27
Site Lighting	18	Builders' Signs	27
Security Flood Lighting	18	Disposal of Construction Debris	27-28
Basketball Goals	18		
ARCHITECTURE	18	APPROVAL CHECK LIST	29
Foundations	19		
Height, Bulk and Mass	20	APPLICATION FOR APPROVAL	30-31
Exterior Treatments:	20		
Materials	20		
Colors	20		

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## INTRODUCTION

Clipper Estates is designed to be a unique community of homes in southern St. Tammany Parish. A convenient boating community at the gateway to Lake Pontchartrain is like living on a vacation. The materials selected, the design of roadways, the placement of new landscaping as well as the preservation of existing plant material have all been painstakingly designed to create a living environment superior to any in the area with your new home fitting in and becoming a part of the aesthetics all contributing to the central design feel of the community.

## THE ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee is composed of a maximum of five (5) members appointed by (the Owner/Developer) Clipper Island, L.L.C. later by the Board of Directors of the Clipper Estates Homeowners' Association. Their goal is to assure that all planning details are carried out as you and your neighbors construct new homes.

This committee has the authority to approve, modify or disapprove house and landscape plans as provided by the recorded Clipper Estates Declaration of Covenants, Conditions & Restrictions (CC&R's) and these design guidelines.

These Design Guidelines have been established to provide residents, their architects and contractors with a set of parameters for the preparation of their drawings and specifications. These guidelines are intended to encourage and insure quality and therefore increase and preserve the property values of Clipper Estates. These Design Guidelines shall provide you and your Architect/Landscape Architect with a set of minimum acceptable guidelines from which to work. As with all regulations, it is difficult to anticipate every possible situation. (Therefore, the Architectural Review Committee may consider the merits of any project that has specific circumstances that make compliance with these guidelines cumbersome or impractical). The St. Tammany Parish Department of Development has jurisdiction over the Clipper Estates Community, and should be contacted to insure compliance with their requirements. Your Architect and Contractor should be familiar with the parish regulations. Compliance with all governmental agencies and regulations is the obligation of the lot owner.

## THE DESIGN REVIEW PROCESS

The review process involves a submission of plans and sample materials. The Architectural Review Committee may also require that, at various stages of design and construction, the project be reviewed on your lot. In addition, we may require the staking out of the proposed locations of structures and drives, as well as flagging trees to be removed or saved, reviewing sample panels of paving, providing wall sections or building treatments,

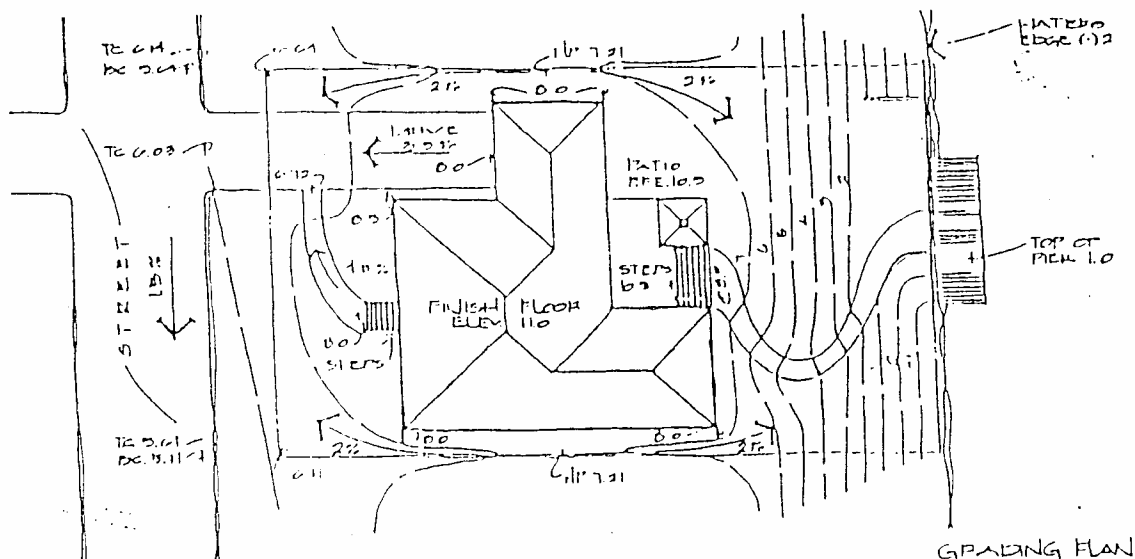
## Design Review and Approval

Upon completing the design of your new house and site, a review of your plans shall be conducted by the Architectural Review Committee. This review shall serve as an indication of your Architect's/Landscape Architect's conformance to the specific requirements as outlined in the Covenants, Conditions and Restrictions and these Guidelines.

Before the start of any construction activity (i.e., clearing, grading, filling, driving of piles) on any residential or commercial site, an Application for Approval must be submitted by the Property Owner to the Architectural Review Committee. This application must be accompanied by a fee of \$100.00, a \$1,000.00 damage deposit, and two sets of construction plans and exterior material samples. The plans must be completed, signed and stamped by the appropriate licensed architects, engineers, or landscape architects of your choice and should be delivered to the Clipper Estates Architectural Review Committee at the address noted on the front of this document. An Application for Approval is attached to the back of this document. Additional applications may be obtained at the address noted on the front of this document.

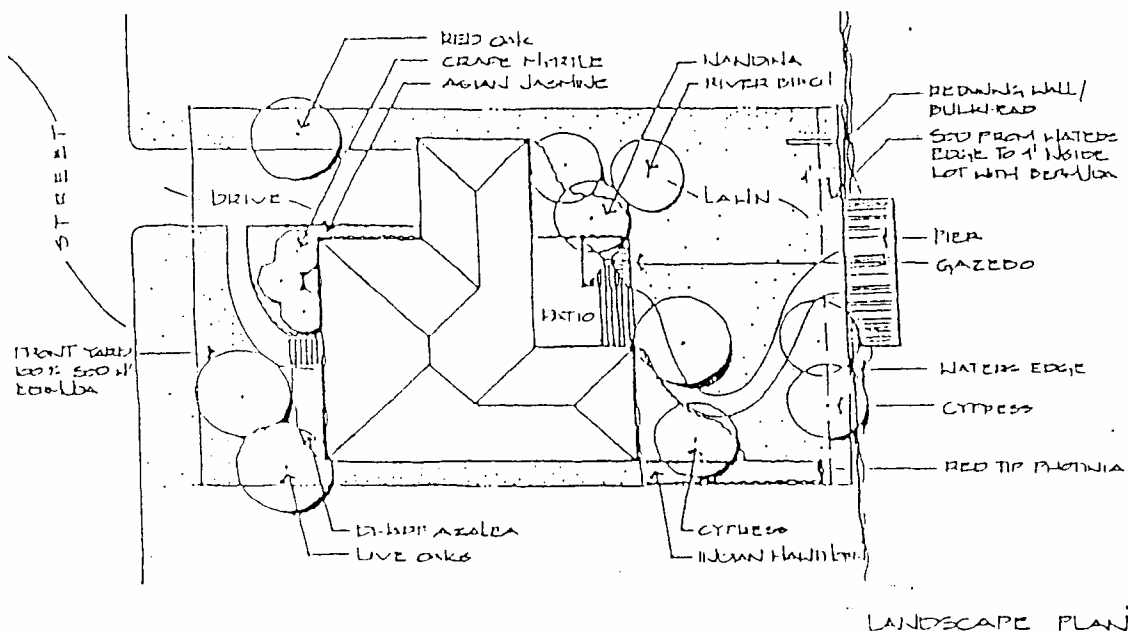
## Architectural Submission

- Floor Plans - 1/4" = 1'0".
- All Building Elevations - 1/4" = 1'0" showing all finish materials, colors and detailing, exterior opening finish schedule, appropriate details and overall height of structure.
- All Exterior Finish Samples of colors. You may submit manufacturer's specifications or sales brochure.
- Construction Specifications.
- Construction Completion Date.
- The plans are to be stamped by a licensed Louisiana Architect or Engineer.
- Evidence verifying builder has a current Louisiana General Contractor's License.



## Landscape Architectural Submission

- Site Plan - 1" = 10'0" showing all structures, (including walls, fences, gates, docks, bulkheads, patios, pools and fountains, etc.) setback, walkways, driveway, and existing trees over 3" caliper.
- Grading and Drainage Plan - to be included on site plan showing all contours, direction of drainage, drainage structures, slab elevations, street elevations, etc.
- Planting Plan - showing location, quantity, size, and common and botanical name of new plant material as well as existing trees. These plans are to be stamped by a licensed Louisiana Landscape Architect.
- Site Lighting Plan - to be included on the site plan showing location and type of fixtures if applicable.
- Detail drawings for pools, patios, walls, fences, bulkheads, docks/piers and structures in sufficient detail to convey construction and finished appearance.



Upon completing the review process and prior to commencing with any site work, you must receive approval for construction from the Architectural Review Committee and a building permit from the St. Tammany Parish Department of Development. One set of the submitted plans will be kept as a record by the Architectural Review Committee, and one set with stamped approval and with a letter of approval for construction will be returned to the Property Owner.

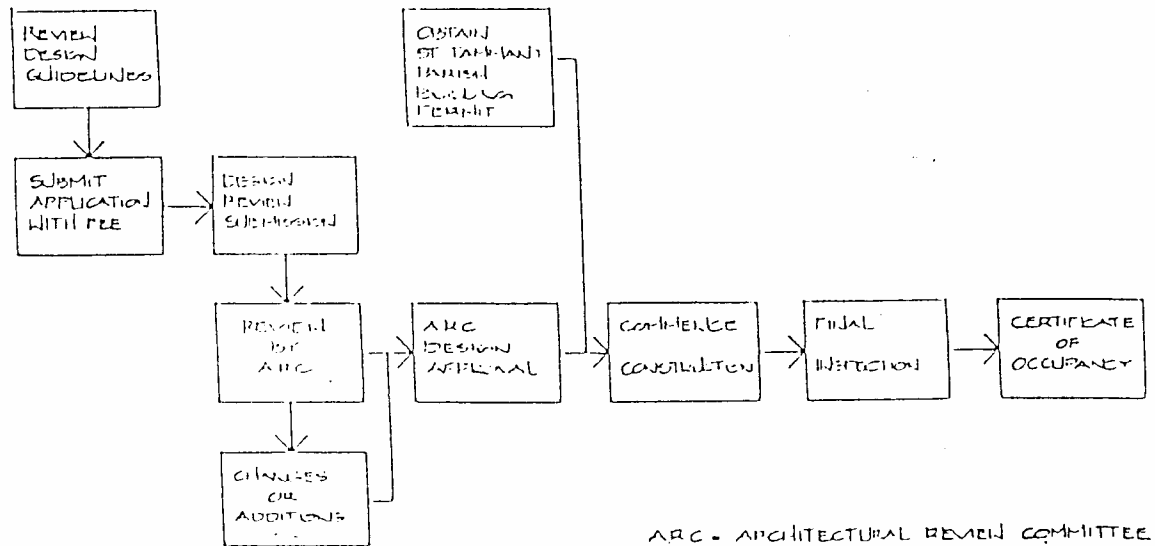
The Architectural Review Committee will retain their record set of drawings for a maximum period of one hundred and twenty days (120) after the stamped date of approval. If work has not started, or the Property Owner has not filed for an extension within this time period, the approval will automatically expire.

## Site Inspection and Clearing

The Architectural Review Committee may make periodic inspections during the construction to assure compliance with these guidelines.

## Process Flow Chart

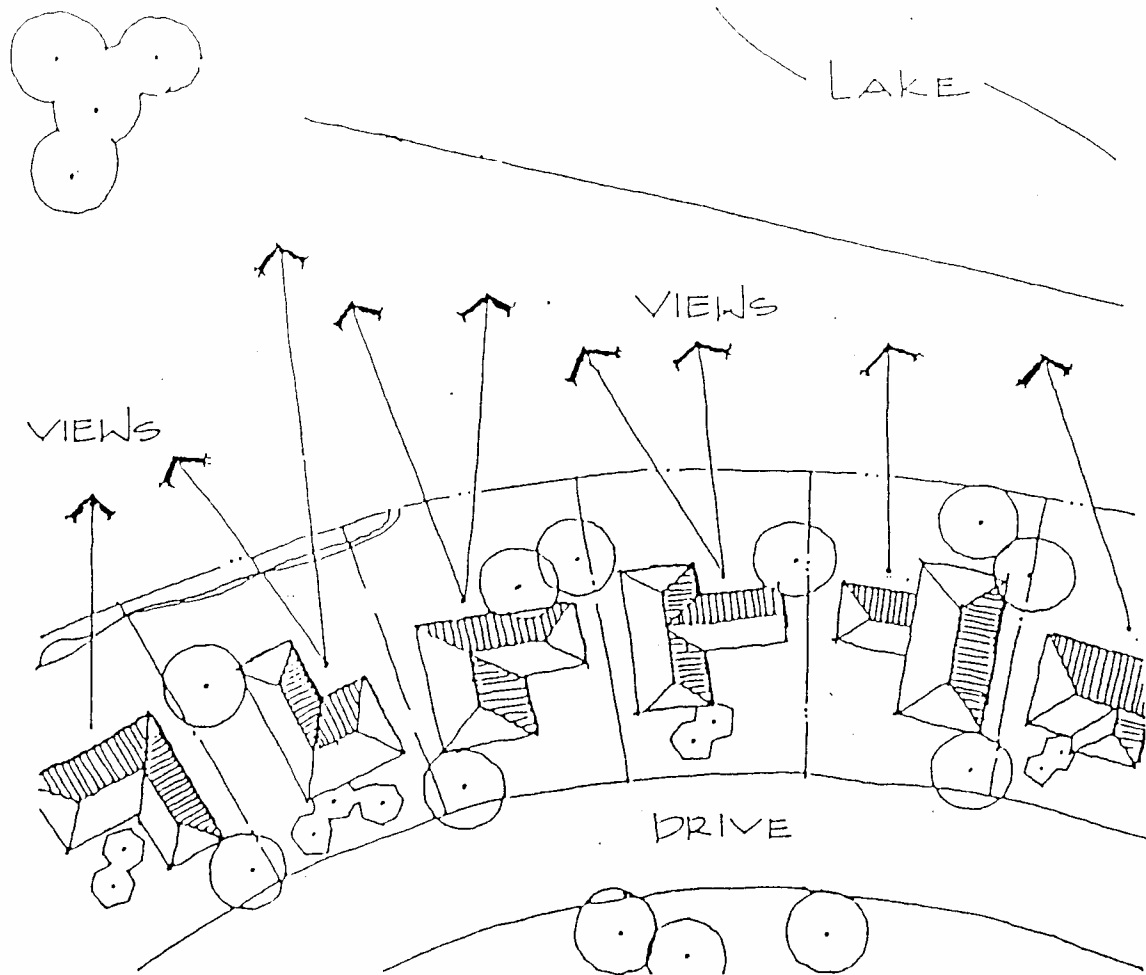
This chart illustrates the necessary steps in the Design Review Process for building your home in Clipper Estates. Please take note that each step must be completed in the property sequence and that any deviation could cause unnecessary delays or additional costs if approval is not obtained prior to construction. Remember that you must obtain your construction permit from St. Tammany Parish Department of Development as well as an approval from the Clipper Estates Architectural Review Committee.



## **SITE DESIGN**

The siting of your new house on the lot you have selected is an important design decision. It is desirable for the homes in Clipper Estates to display the individuality of their owners, as well as respect those of each adjoining neighbor. Because most residences will be seen from many different angles (i.e., the roads, across the waterways), it is very important that the three dimensional character of each home be carefully studied and maximized to avoid a "flat facade" look.

The Architectural Review Committee shall consider each site plan independently and study its impact upon adjacent home sites and their sight lines to lakes. Care must be taken to locate each structure, whenever possible, so as not to infringe upon sight lines, adjacent structures and home sites, or natural amenities of the area.



Consideration in this regard include:

1. Physical terrain of the site
2. Views from homesite
3. View to the homesite from adjacent lots, or lakes/waterways if applicable
4. Natural amenities such as:
  - Existing vegetation masses
  - Existing water and drainage channels
5. Driveway access and views from the street
6. Height, bulk and mass of the structure as well as the neighbors' structures

Conformance with these site design guidelines will be assured through the Design Review Process. We recommend the items in this section be prepared by a licensed Landscape Architect, registered in the State of Louisiana, working on collaboration with your Architect.

### **Building Setbacks**

Front Yard Setback 25'

Note: Garages may not open to the street unless an additional setback of 20' is measured from the front facade. Garages may open to the side yard. (See Garages Pg. 27)

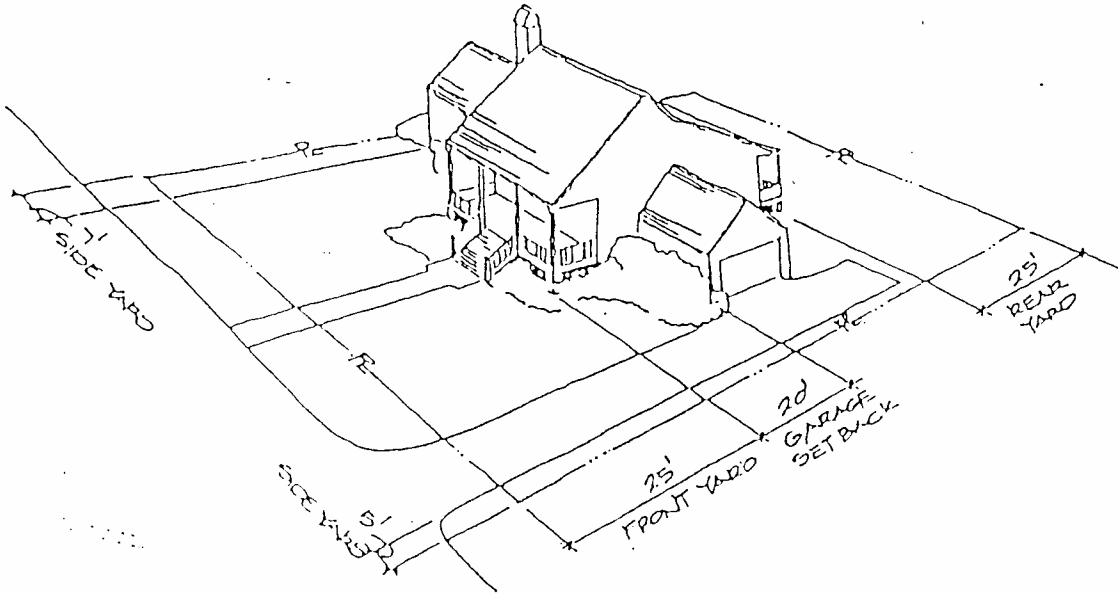
Side Yard Setback 5' & 7'

The side yard setback will be 5' on one side and 7' on the other side and a 15' setback for corner lots for the side yard facing a side street.

Detached garages may be constructed within 5' of the side property lines. However, garages on corner lots must have a 15' side yard setback, if the garage faces the front yard. If the garage faces the side yard, a 25' setback is required.

Rear Yard Setback 25'

From the rear property line or water's edge.



For some building lots within Clipper Estates, it may be impossible or inadvisable to comply with the setback requirements (i.e. due to lot size, shape or proximity of adjacent structures, etc.). Therefore, the Committee may approve a variance of these design guidelines as it pertains to the setbacks which are believed to be beneficial to a specific homesite and/or adjacent home sites.

The Architectural Review Committee reserves the authority to require that structures, driveways, walkways, garages, and any other proposed improvements be staked out and approved by the committee **before** any tree removal, fill placement or site work is begun.

**For further information on location of buildings, please refer to the Clipper Estates Declaration of Covenants, Conditions, & Restrictions and the specific Supplementary Declaration for your subdivision if applicable.**

**\*Note:** Roof overhangs, eaves, gutters, downspouts, canopies, balconies, landings, steps, stairs or any unsupported structures, attached to the building may protrude a maximum of 5' into the rear yard and front yard setbacks of lots at the discretion of the Architectural Review Committee.

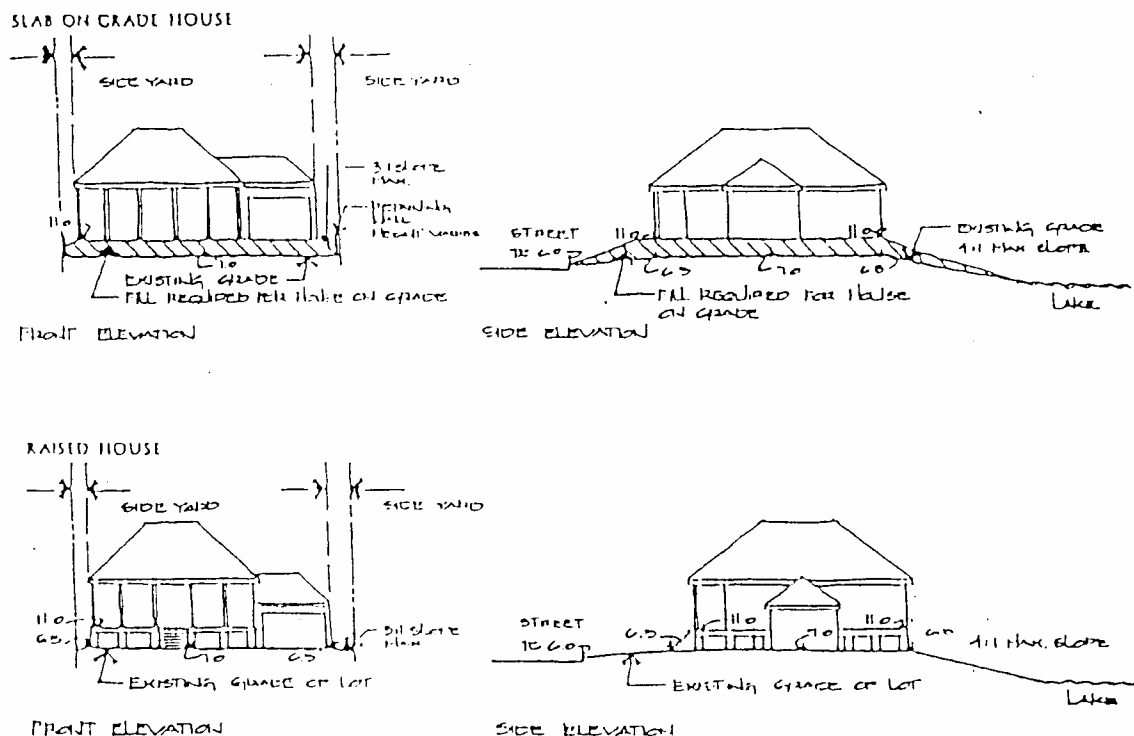


## Grading and Drainage

Drainage structures have been kept to a minimum, reliance on natural drainage ways, storm retention lakes and existing canals provide the most protection. It is imperative that property and positive drainage on your lot be "built in" to the plan. Proper grading and drainage is vital to the development of each "homesite". Storm water run-off from each site must be handled by adequately grading all areas so that run-off can be directed in a positive manner to the natural drainage ways. IT IS STRONGLY ADVISED THAT A RAISED HOME BE UTILIZED RATER THAN A SLAB-ON-GRADE CONSTRUCTION. This will assure your finished floor level will be the proper elevation without the use of excessive fill on your lot. Retaining walls shall be provided, if your lot is filled, to protect adjacent Landowners. Each homesite shall have drainage swales along the side property lines sloping towards the street and rear of the property if lakes or canals are present to ensure for positive drainage. The Lot Owners are responsible to maintain these swales at all times.

Drainage swales or washes interrupted by site improvements will not be permitted. Additional drainage ways (swales) constructed as a part of the site work, shall be fabricated of natural materials placed for positive operation of the drainage system. Erosion during and after construction shall be controlled by placing sod on exposed slopes. The use of exposed drain pipes or impervious swale lining is not allowed.

The Architectural Review Committee advocates working with existing site elevations prepared in compliance with the Drainage Plan approved by the parish for the Clipper Estates Community. Site grading and construction of your house should be done in a manner to preserve as many of the existing trees as possible. Raised homes work effectively in this manner as a minimum of fill material is required.



Excessive use of fill material on individual home sites will not be approved. To insure compliance with this philosophy, a grading plan will be required as part of the design submittal. Approval must be obtained from the Architectural Review Committee before earth is moved onto or removed from a specific homesite. Absolutely no grading whatsoever shall be allowed without first obtaining this letter of approval.

All fill material shall be sand or soil clean of construction material. Concrete, cement dust or other debris will not be permitted.

All grading reviews shall be subject to the jurisdiction of the Architectural Review Committee and shall be considered individually for each lot. Recommendations will be based upon individual lot locations, existing trees, soil conditions, drainage, and any other conditions the Architectural Review Committee feels will impact the design of the site.

### **Driveways and Walkways**

The driveway and walkways leading to your house are an important component of the site design. Both the walkways and driveways should reflect the design and material selection of your new house. A walkway is a hard surfaced path leading from the street or driveway to the front entrance of your home. As a minimum, all walkways shall be 4" reinforced concrete. Driveways shall be a minimum of 6" reinforced concrete, and shall be a fully paved width of not less than 10' within your property, flaring to 15' wide at the street curb.

Sidewalks will not be permitted along the street.

The Architectural Review Committee advocates the use of brick, flagstone, granite, precast concrete pavers or patterned concrete for both driveways and walkways. Asphalt, shell, or gravel walks and drives will not be allowed.

No driveway or sidewalk shall be located closer than three (3') feet to any side property line, or in such a location as to interfere with the location of electrical transformers, telephone and CATV junctions, or drainage easements.

All walkways and driveways shall be constructed concurrent with your residence, and shall be the sole expense of the property owner.

**For further information on location of walks and drives, as well as construction specifications, please refer to the Clipper Estates Declaration of Covenants, Conditions, & Restrictions and the specific Supplementary Declaration for your subdivision if applicable.**

### **Walls and Fences**

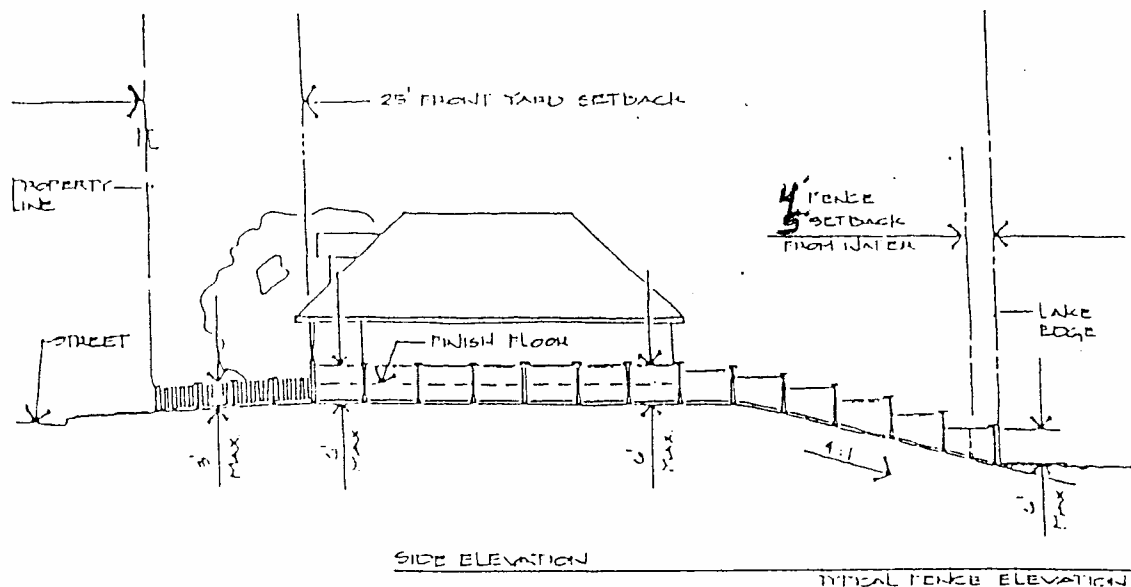
Walls and Fences should be considered as an extension of the architecture of the residence. They should serve to make a transition between the mass of the architecture and the natural forms of the site. All walls and fences should be designed to be compatible with the total surrounding environment and should not block natural views. Fences and walls should be considered design elements to enclose and define courtyards, to extend and relate the building forms to the land, and to afford a sense of property definition and to provide privacy where needed.

## Lake/Water Front Lots

**Side Yard Walls and Fences** - All side yard fences located within the 25' front yard setback shall not exceed 3' in height and be an open metal or wood picket fence. The remaining side yard solid walls or fences shall not exceed 6' in height, shall run to the rear of the water's edge and shall be stepped or terraced on slopes in 8' intervals. (See Diagram)

**Rear Yard Fences** - Solid walls are prohibited, however, a 4' high open metal or wood picket fence may be placed at water's edge.

**Front Yard Fences** - Solid walls are prohibited, however, a 3' high open metal or wood picket fence may be placed on the front property line.



## Chain link or wire fencing will not be allowed.

All walls and fences must be submitted and approved by the Architectural Review Committee prior to installation.

For further information on location and construction of walls and fences, please refer to the Clipper Estates Declaration of Covenants, Conditions, & Restrictions and the specific Supplementary Declaration for your subdivision if applicable.

## Landscaping

The Clipper Estates Community lies on the edge of two unique tree regions of Louisiana - the Bottomland Hardwoods and Cypress Region and the Longleaf Pine Region. From these lush landscapes the Architectural Review Committee has selected specific trees, shrubs, ground covers and vines that complement the prevailing

mood of the Community. These theme plants have been utilized throughout for street trees, shade trees, entry areas, buffers, open space areas and shorelines. The look and mood of the landscape emphasizes a rich seasonal variety of color and texture of piney highlands mixed with shady live oaks and moss laden cypress along the shorelines.

To reinforce the overall Community theme, it is important that your home landscaping complement the mood here. Therefore, the Architectural Review Committee requires a landscape plan to be submitted during the review process. The landscape plan must show all proposed site structures and features including the drives, walks, patios, decks, fences, pools, spas and any other site features. Utility, trash, air conditioning, and other items that require screening should be noted. Existing site conditions should be located and noted. Accurately described on the plan will be all proposed planting as to the location, type and quantity. A complete plant list is required indicating the size, quantity and spacing of the proposed planting. Areas to be mulched or planted as lawn should be so noted.

Specific landscape requirements for each homesite can be determined by utilizing the following minimum landscape design standards:

1. The homeowner will be required to plant specimen trees of not less than 2 ½ inch caliper (diameter is measured 12" above the ground), 10-12 feet tall and with a 4-6 feet spread. The type of tree must be chosen from the list of "Recommended Plant Materials" stated in the Design Guidelines. The density of planting will be a minimum of one (1) tree per 400 square feet of one fourth of the land area of the lot. This is a minimum requirement. The number of trees also will be determined by the size of the trees planted. Planting larger trees will reduce the total number required. Credit will be given for existing trees. Multi-trunk trees will have as a minimum 3-5 trunks, be 8-10 feet tall and have a 4-6 feet spread.

EXAMPLE:

LOT LAND AREA:	10,500 SQUARE FEET
1/4 LOT LAND AREA EQUALS:	2,625 SQUARE FEET
DIVIDE BY 400 EQUALS THE	
MINIMUM NUMBER OF TREES REQUIRED:	7

2. 50% of these trees must be planted in the front yard with the remaining 50% planted elsewhere on the lot.
3. The homeowner must plant a minimum of Fifty (50) shrubs (3 gallon size) of which 50% are to be planted in the front yard.
4. The homeowner must establish lawn areas as soon as practical in that:
  - a. All front yards shall be 100% sodded, within thirty (30) days of Substantial Completion of your home.

- b. Rear and side yards must be sodded, sprigged or seeded to attain a full lawn coverage within one growing season. All water edges are to be sodded solid from water's edge to 4' up the bank.

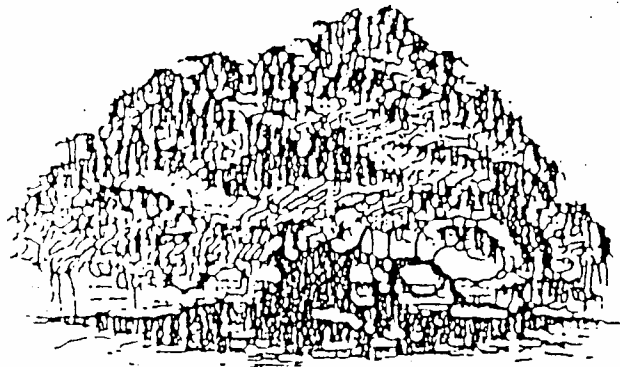
In addition to the landscaping of your choice, you may be required to install a select number of trees and shrubs adjacent to the street to complete the overall look of Clipper Estates. These will be selected and located by the Architectural Review Committee during the Review Process.

The following list contains suggested plant material recommended for your homesite. These materials were chosen for their compatibility with both the St. Tammany climate and the overall site design theme. Other trees, shrubs and ground covers may be used with the approval of the Architectural Review Committee.

## RECOMMENDED PLANT MATERIALS

### TREES: LARGE

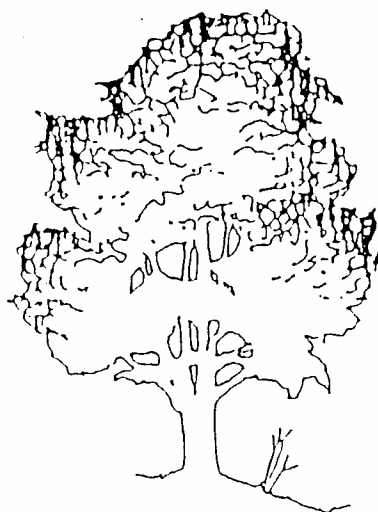
Common Name	Botanical Name	Uses, Qualities and Remarks
Live Oak*	<i>Quercus virginiana</i>	Evergreen, broad spreading shade tree
Willow Oak*	<i>Quercus phellos</i>	Shade tree, fine texture
Southern Red Oak	<i>Quercus falcata</i>	Shade tree, red fall color
Cherry Bark Oak*	<i>Quercus falcata 'pagodifolia'</i>	Red fall color, long lived shade tree
Cow Oak*	<i>Quercus michauxii</i>	Shade tree, fall color
Southern Magnolia*	<i>Magnolia grandiflora</i>	Evergreen, fragrant white flowers
Cypress	<i>Taxodium distichum</i>	Fall color, waterside planting
Green Ash*	<i>Fraxinus pennsylvanica</i>	Fall color, excellent shade tree
Longleaf Pine*	<i>Pinus palustris</i>	Large evergreen
Slash Pine*	<i>Pinus Elliottii</i>	Evergreen
Tulip Pine	<i>Liriodendron tulipifera</i>	Good upright shade tree, fall color
Cottonwood*	<i>Populus deltoides</i>	Fastest growth shade tree
Lombardi Poplar	<i>Populus nigra 'Italica'</i>	Fast growth buffer tree, dry soils



## TREES: MEDIUM

Common Name	Botanical Name	Uses, Qualities and Remarks
River Birch	<i>Betula nigra</i>	Interesting bark, yellow fall color, waterside planting
Swamp Red Maple*	<i>Acer rubrum 'Drummondii'</i>	Red flowers and fall color, waterside planting
Bradford Pear	<i>Pyrus Calleryana 'Bradford'</i>	Spring flowers, purple fall color
Chinese Elm	<i>Ulmus parvifolia</i>	Excellent patio tree, fine texture
American Holly	<i>Hex opaca</i>	Evergreen, red berries, screen planting
Spruce Pine	<i>Pinus globra</i>	Fine textured evergreen
Golden Rain Tree*	<i>Kochcutteria bipinnata</i>	Very fast growth, fall color, can freeze
Weeping Willow	<i>Salix babylonica</i>	Weeping form, waterside plant
Ginkgo*	<i>Ginkgo biloba</i>	Yellow fall color
Sweet Bay Magnolia	<i>Magnolia virginiana</i>	Flowering evergreen with striking silver color on underside of foliage
White Poplar	<i>Populus alba</i>	Fast growing salt tolerant shade tree

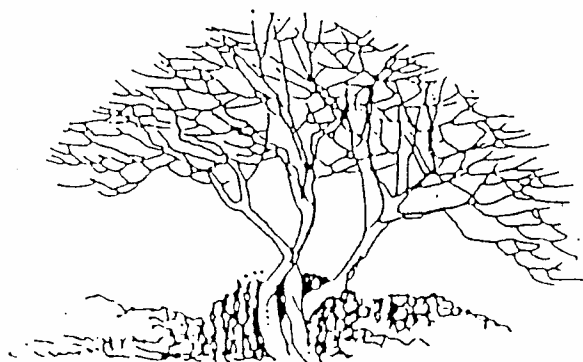
\*Recommended for lots with no existing trees.



## TREES: SMALL

Common Name	Botanical Name	Uses, Qualities and Remarks
Crape Myrtle	<i>Lagerstroemia indica</i>	Brilliant flower color, interesting bark, excellent patio or accent tree
Oriental Magnolia	<i>Magnolia Sonlangiana</i>	Purple flowers, early bloomer, patio tree
Ynupon Holly	<i>Hex vomitoria</i>	Evergreen, naturalistic plantings
Cherry Laurel	<i>Pramus caroliniana</i>	Evergreen, hedge and screen plantings, wildlife food

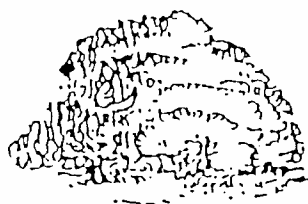
Sweet Olive	<i>Osmanthus fragrans</i>	Evergreen, fragrant flowers
Wax Myrtle	<i>Myrica cetifeta</i>	Evergreen, screen and naturalistic plantings, wildlife food, waterside planting
Japanese Plum	<i>Eriobotrya japonica</i>	Wildlife food, coarse texture
Parasol Tree	<i>Firmiana simplex</i>	Green trunks, coarse texture
Flowering Dogwood	<i>Cornus flotida</i>	Flowering tree, fall color
White Fringe Tree	<i>Chionanthus virginicus</i>	Native flowering tree
Parsley Hawthorn	<i>Crotaegus Marshallii</i>	Native flowering tree, fine texture detail design
Silver Bells	<i>Halesia diptera</i>	Native flowering tree, excellent for patio locations
Southern Crabapple	<i>Malus angustifolia</i>	Flowering tree, edible fruit



#### SHRUBS:

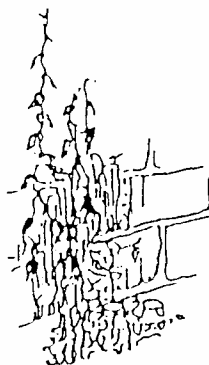
Common Name	Botanical Name	Uses, Qualities and Remarks
Hollies	<i>Hex spp.</i>	Evergreen hedge, berries
Primrose Jasmine	<i>Jasminum Mesnyi</i>	Yellow flowers, spreading, pendulous form, screen
Nandina	<i>Nandina domestica</i>	Red berries and leaf color, accent plant
Red Tip Photinia	<i>Photinia globra</i>	Large evergreen, red foliage color, screen and hedge plantings
Pittosporum	<i>Pittosporum tobira</i>	Large evergreen, fragrant flowers, screen
Indian Hawthorn	<i>Raphiolepis indica</i>	Low to medium evergreen shrub, pink or white flowers, very hardy

Dwarf Azalea	<i>Rhododendron obtusums</i>	Protected position, partial shade, brilliant flowers
Indian Azalea	<i>Rhododendron indica</i>	Large evergreen, partial shade, outstanding flowers, naturalistic planting
Camellia	<i>Camellia spp.</i>	Evergreen, flowering specimen
Gardenia	<i>Gardenia jasminoides</i> 'Prostrata'	Dwarf shade tolerant evergreen, fragrant summer flowers
Wax Leaf Ligustrum	<i>Ligustrum japonicum</i>	Excellent evergreen hedge
Sago Palm	<i>Cycas revoluta</i>	Coarse texture, accent
Abelia	<i>Abelia grandiflora</i>	Summer flowering evergreen
Fatsia	<i>Fatsia japonica</i>	Coarse texture shade plant, detail design for protected areas
Leucothoe	<i>Leucothoe axillaris</i>	Shade tolerant lowland plant
Star Bush	<i>Illicium floridanum</i>	Large understory flowering evergreen
Banana Tree	<i>Michelia Figo</i>	Evergreen, screen, fragrant flowers



#### VINES:

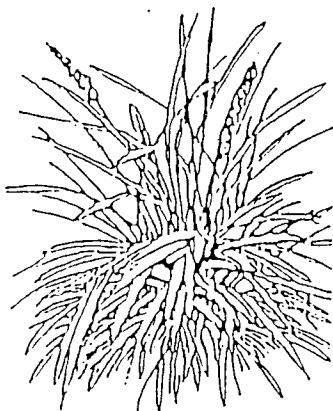
Common Name	Botanical Name	Uses, Qualities and Remarks
Carolina Yellow Jasmine	<i>Gelsemium sempervirens</i>	Semi-evergreen, fragrant yellow flowers
Confederate Jasmine	<i>Trachelospermum jasminoides</i>	Evergreen, climbing yellow flower
Lady Banksia Rose	<i>Rosa Banksiae</i>	Evergreen, climbing yellow flower
Wisteria	<i>Wisteria sineusis</i>	Fragrant blue-violet flowers, heavy, vigorous grower for garden structures
Fig Vine	<i>Ficus pumila</i>	Evergreen, popular wall covering
English Ivy	<i>Hedera Helix</i>	Shade tolerant evergreen, coarse texture
Fatshedera	<i>Fatshedera Lixci</i>	Shade tolerant evergreen, very coarse texture, detail design





## GROUND COVERS:

Common Name	Botanical Name	Uses, Qualities and Remarks
Liriope	<i>Liriope Muscari</i>	Sun to shade, flower, border plant
Asian Jasmine	<i>Trachelospermum asiaticum</i>	Sun to part shade, forms dense mat
Monkey Grass	<i>Ophiopogon japonicus</i>	Part shade to shade, fine texture, grass-like
Horizontal Juniper	<i>Juniperus horirontalis</i>	Full sun, dry conditions, fall color
Aspidistra	<i>Aspidistra elatior</i>	Deep shade, coarse texture
Louisiana Iris	<i>Iris 'Louisiana'</i>	Waterside and naturalistic plantings, full range of flower color, detail design
Wood or Marsh Fern	<i>Dryopteris spp.</i>	Shady positions, moist soils, naturalistic plantings
Ajuga	<i>Ajuga reptans</i>	Shade tolerance, detail design, low growing
Cattails	<i>Typha latifolia</i>	Waterside planting
Horsetail	<i>Equisetum hyemale</i>	Waterside planting



## GRASS:

Common Name	Botanical Name	Uses, Qualities and Remarks
Centipede	<i>Eremochloa ophiuroides</i> 'Oaklawn'	Yellow green, medium coarse texture
Bermuda	<i>Cynodon Dactylon</i>	Dark blue-green, poor shade tolerance, fine texture
St. Augustine	<i>Stenotaphium secundatum</i>	Dark blue-green, good shade tolerance, fine texture
Zoysia	<i>Zoysia spp.</i>	Dark green, extremely fine texture, good shade tolerance

## LANDSCAPING

Specific landscape requirements for each homesite can be determined by utilizing the following minimum landscape design standards:

1. The homeowner will be required to plant specimen trees of not less than 2 1/2 inch caliper (diameter is measured 12" above the ground), 10-12 feet tall and with a 4-6 feet spread. The type of tree must be chosen from the list of "Recommended Plant Materials" stated in the Design Guidelines. The density of planting will be a minimum of one (1) tree per 400 square feet of one fourth of the land area of the lot. This is a minimum requirement. The number of trees also will be determined by the size of the trees planted. Planting larger trees will reduce the total number required. Credit will be given for existing trees. Multi-trunk trees will have as a minimum 3-5 trunks, be 8-10 feet tall and have a 4-6 feet spread.

### EXAMPLE:

LOT LAND AREA: 11,200 SQUARE FEET  
1/4 LOT LAND AREA EQUALS: 2,800 SQUARE FEET  
DIVIDE BY 400 EQUALS THE  
MINIMUM NUMBER OF TREES REQUIRED: 7

2. Fifty percent (50%) of these trees must be planted in the front yard with the remaining fifty percent (50%) planted in the side and back yards.
3. The homeowner must plant a minimum of fifty (50) shrubs (3 gallon in size) of which fifty percent (50%) are to be planted in the front yard. Sizes of plant material will be based on criteria established in the "American Standard for Nursery Stock", by the American Association of Nurseryman, Inc., the latest edition. Based on a bed area of four hundred square feet with fifty (50) three (3) gallon plants spaced 36" on center; the following chart illustrates acceptable equivalent choices:

1	7 gallon shrub	=	3	3 gallon shrubs
1	5 gallon shrub	=	1.5	3 gallon shrubs
1	3 gallon shrub	=	1	3 gallon shrub
2	1 gallon shrubs	=	1	3 gallon shrub
3.5	6" pot shrubs	=	1	3 gallon shrub
9	4" pot shrubs	=	1	3 gallon shrub

4. The homeowner must establish lawn areas as soon as practical in that:
  - a. All front yards shall be 100% solid sodded upon Substantial Completion of your home.
  - b. Rear and side yards must be sodded, sprigged or seeded to attain a full lawn coverage within one growing season. All water edges are to be solid sodded from the waters' edge to 4 feet up the bank.

F.Y.I.  
Parish Requirements

**5.1613 Native Trees and Shrubs**

**A. Required Native Trees and Shrubs.** Section 5.1604 D 2 provides:

At least 75%, of the aggregate in number, of all required trees and shrubs (the sum of all trees and shrubs required in street planting areas, buffer planting areas, parking areas, building facade planting areas and any other areas where trees and shrubs are required in this Section 5.16) shall be a native species of trees and shrubs as identified in Section 5.1613. None of the required ground cover need be a native species.

The provisions of this Section 5.1613.B through D set forth trees and shrubs that are considered native species of trees and shrubs for the purpose of Section 5.1604 D 2, above quoted.

**B. Class "A" Native Trees.** Class "A" trees are defined in Section 5.1615. The following are Class "A" native tree species:

<i>Common Name</i>	<i>Scientific Name</i>
AMERICAN BEECH	Fagus Grandifolia
AMERICAN ELM	Ulmus americana
AMERICAN SYCAMORE	Platanus Occidentalis
ASH SPECIES	Fraxinus Spp.
BLACK CHERRY	Prunus serotina
BLACKJACK OAK	Quercus Marilandica
BALD CYPRESS	Taxodium Distichum
BLACKGUM	Nyssa Sylvatica
CHERRYBARK OAK	Quercus Falcata (var.) Pagodaefolia
HACKBERRY	Celtis Laevigata
LAUREL OAK	Quercus Laurifolia
LOBLOLLY PINE	Pinus Taeda
LONGLEAF PINE	Pinus Palustris
NUTALL OAK	Quercus nuttallii
OVERCUP OAK	Quercus lyrata
PECAN	Carya Illinoensis
POND CYPRESS	Taxodium Ascendens
RED MAPLE	Acer rubum L. Var.rubum
RED OAK	Quercus falcata
SLASH PINE	Pinus Elliottii
SHUMMARD OAK	Quercus shumardii
SOUTHERN MAGNOLIA	Magnolia Grandiflora
SOUTHERN LIVE OAK	Quercus Virginiana

SOUTHERN SUGAR MAPLE  
 SPRUCE PINE  
 SWAMP RED MAPLE  
 SWAMP CHESTNUT OAK  
 SWEETBAY MAGNOLIA  
 SWEETGUM  
 TULIP POPLAR  
 WHITE OAK  
 WILLOW OAK  
 WINGED ELM

Acer barbatum  
 Pinus Glabra  
 Acer Rubrum Drummond II  
 Quercus Michauxii  
 Magnolia Virginiana  
 Liquidambar Styraciflua  
 Liriodendron Tulipifera  
 Quercus Alba  
 Quercus phellos  
 Ulmus Alata

C. Class "B" Native Trees. Class "B" trees are defined in Section 5.1615  
 . The following are Class "B" native tree species:

<i>Common Name</i>	<i>Scientific Name</i>
AMERICAN PLUM	Prunus americana
AMERICAN SNOWBELL	Styrax americana
BIG LEAF SNOWBELL	Styrax grandifolius
BIG LEAF WAX MYRTLE	Myrica heterophylla
BLACK WILLOW	Salix nigra
BOTTLEBRUSH BUCKEYE	Aesculus parviflorum
CASSINE or DAHOON HOLLY	Ilex cassine
CHERRY LAUREL	Prunus caroliniana
DECIDUOUS HOLLY	Ilex decidua
DOGWOOD	Cornus florida
FOSTERS HOLLY, GREENLEAF HOLLY, SAVANNAH HOLLY, ETC.	Ilex "attenuata" cultivars
GREENHAW	Crataegus viridis
GREYBEARD	Chionanthus virginicus
GROUNDSEL BUSH	Baccharis halimifolia
HOP HORNBEAM	Ostrya virginiana
IRONWOOD or BLUE BEECH	Carpinus caroliniana
MAYHAW	Crataegus opaca
MEXICAN PLUM	Prunus mexicana
PARSLEY HAWTHORN	Crataegus marshallii
PERSIMMON	Diospyros virginiana
POSSUMHAW VIBURNUM	Viburnum nudum
RED BAY	Persea borbonia
RED BUCKEYE	Aesculus pavia
REDBUD	Cercis canadensis
RED MULBERRY	Morus rubra
RIVER BIRCH	Betula nigra

SILVER BELL  
SOUTHERN CATALPA  
SOUTHERN CRABAPPLE  
SHINING SUMAC  
SMOOTH SUMAC  
TTT  
TREE HUCKLEBERRY  
WALTER'S VIBURNUM  
WAX MYRTLE  
WEEPING YAUPON  
YAUPON

Halesia diptera  
Catalpa bignonioides  
Malus angustifolia  
Rhus glabra  
Rhus copallina  
Cyrilla racemiflora  
Vaccinium arboreum  
Viburnum obovatum  
Myrica cerifera  
Ilex vomitoria "pendula"  
Ilex vomitoria

#### D. Native Shrubs

ARROWWOOD  
AZALEA  
BLUEBERRY/HUCKLEBERRY  
CAMELLIA  
CLETHRA  
DAHOON HOLLY  
FETTERBUSH  
FRENCH MULBERRY  
GALLBERRY  
HONEYBELLS  
OAKLEAF HYDRANGEA  
PALMETTO  
SOUTHERN CANE  
STARBUSH  
SWEET SHRUB  
VIRGINIA WILLOW  
WILD AZALEA  
WILD AZALEA  
WILD AZALEA  
WINTERBERRY  
YELLOW ANISE  
DWARF YAUPON

Viburnum dentatum  
Azalea indica  
Vaccinium species  
Camellia susanqua  
Clethra alnifolia  
Ilex myrtifolia  
Lyonia spp.  
Callicarpa americana  
Ilex glabra  
Agarista populifolia (dwarf available)  
Hydrangea quercifolia  
Sabal minor  
Arundinaria gigantea  
Illicium floridanum  
Calycanthus floridus  
Itea virginica  
Rhododendron serrulatum  
Rhododendron canescens  
Rhododendron austrinum  
Ilex verticillata  
Illicium parviflorum  
Ilex vomitoria nona

#### 5.1614 Regulation of Legally Non-conforming Landscaping.

- A. **Definition.** The term "legally non-conforming landscaping" shall mean (i) any landscaping located within the Parish which does not conform with the provisions of this Section 5.16 at the time this Section 5.16 becomes effective, or (ii) any landscaping not yet constructed, but which has been granted a permit or approval, at the time this Section 5.16 becomes effective.

## Street scape

### A) Address Numbers

Address numbers will be displayed on the mailboxes. If you desire additional identification, an address may be placed on the front of your house subject to the Committee's approval. Suggested locations include to the right of the front door, over the door or etched in the transom. The location, size and type style will be reviewed and approved by the Architectural Review Committee.

### B) Mailboxes

The Architectural Review Committee will approve mailbox designs based on the architecture and materials of the house, assuming it conforms to the standard of the U.S. Postal Service. The Architectural Review Committee may specify a standard mailbox design for your subdivision; check the CC & R's for your subdivision.

### C) Flagpoles

Permanently installed flagpoles will not be permitted. Temporary flagpoles, installed on national holidays in the front yard or rear of your house is permitted. Only the United States flag, the State of Louisiana flag, and the Mardi Gras flag will be permitted.

## Site Amenities

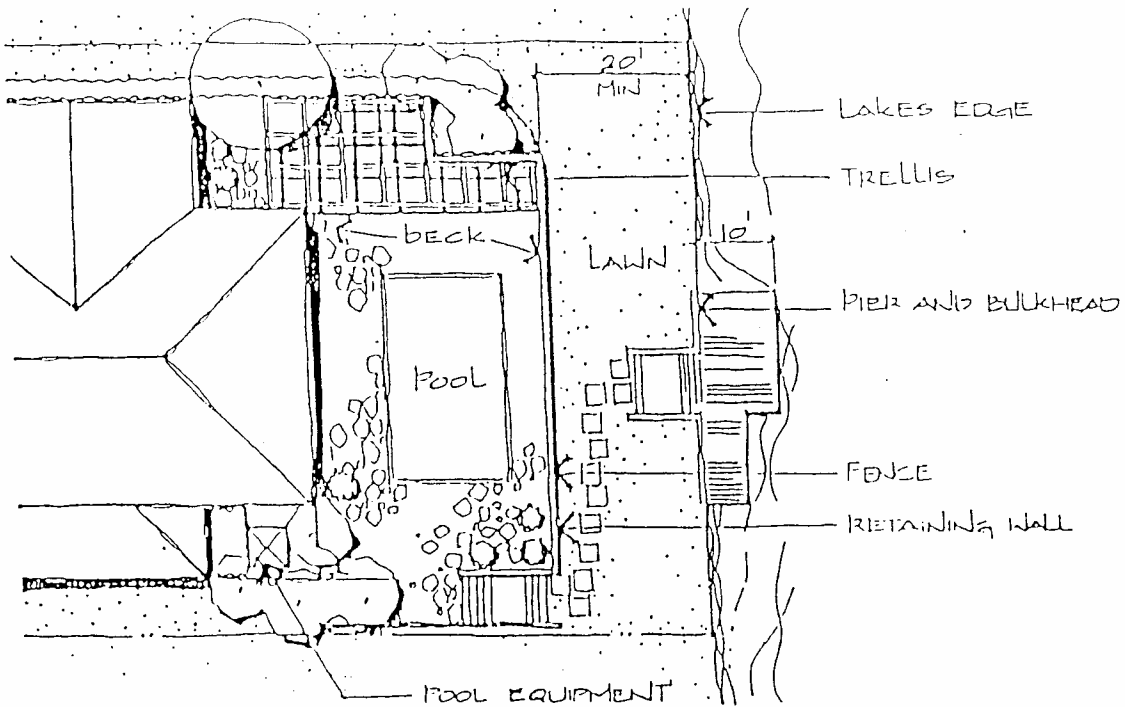
### A) Tennis Courts

Tennis courts must be located so that they will not infringe upon view corridors. Courts should be naturally screened from adjacent home sites and wind screens will be added to soften their visual impact. Black vinyl coated chain link fence and posts will be the required minimum for court fencing. Surface colors should be restricted to soft reds and greens and not be highly reflective. Lights, if installed, may not intrude upon adjoining property. Special cutoff fixtures must be utilized. The Architectural Review Committee requires that the tennis courts be set back a minimum of 25' from the rear property line and/or the water's edge.

### B) Pools, Spas and Hot Tubs

The location of swimming pools, spas, and hot tubs should consider indoor/outdoor relationships, setbacks, wind, sun, terrain, and existing trees.

The size, shape, and siting of swimming pools must be carefully considered to achieve a feeling of compatibility with the surrounding natural and man-made elements. Pool and equipment enclosures should be architecturally related to your house and other structures in their placement, mass, and detailing. Pools shall be located a minimum of 20' from the rear lot line and/or the water's edge, and not within any restricted side yard area. All pools shall be protected with a fence that conforms to the Clipper Estates Covenants, Conditions and Restrictions and these Guidelines, as well as all applicable St. Tammany Codes.



C) Radio and Television Antenna

Clipper Estates has been wired for cable television. The construction or installation of antenna, satellite dishes, radio receivers or transmission towers on the roof or ground is permitted.

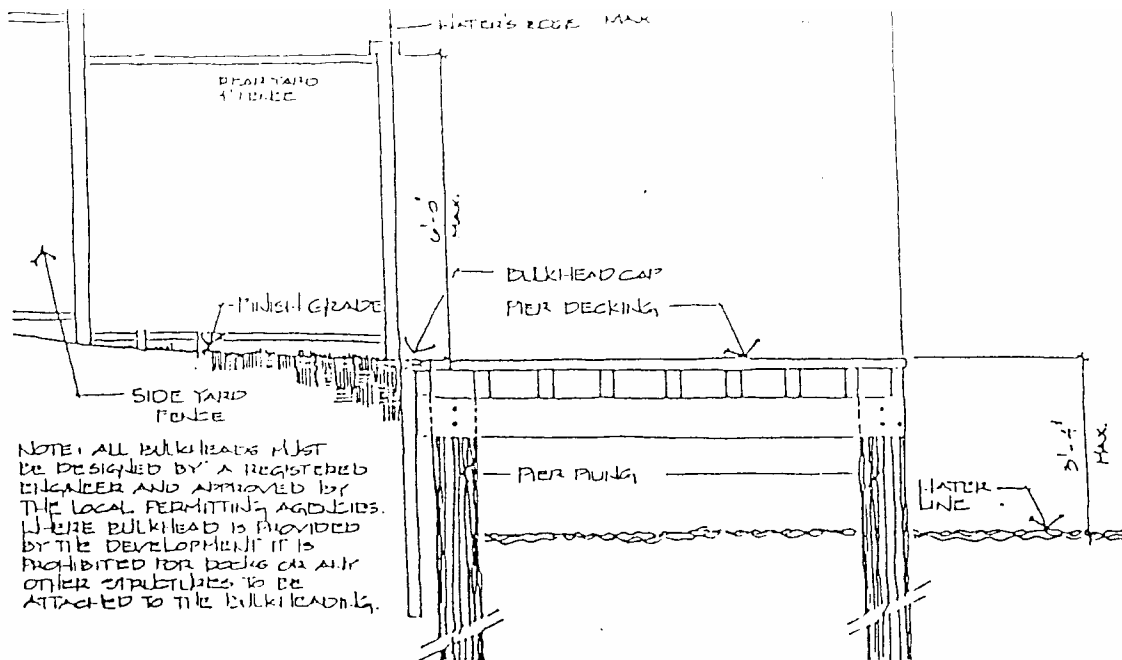
D) Bulkheads

Waterfront lots, whether on lakes or tidal waterways, are unique to Clipper Estates. It may be the homeowner's desire to construct a bulkhead or pier at the water's edge in order to more easily maintain the shoreline or to allow for boat dockage.

The following Design Guidelines are intended to aid the homeowner in the proper design and construction of bulkheads and piers and to insure a clean and harmonious look for all of Clipper Estates.

- \* All wood must be pressure treated Southern Yellow Pine (30 year).
- \* All metal hardware must be Hot Dipped Galvanized.
- \* All bulkhead and pier designs must be designed and stamped by a registered Engineer prior to construction.
- \* All designs must be reviewed and approved by the Architectural Review Committee.
- \* Piers and boat docks may be constructed only out into tidal lakes and waterway, but in no case may they extend further than 12' beyond the bulkhead line.
- \* Lighting on piers must not shine into neighbors' lots or across the waterway. All fixtures must be cutoff type fixtures which reduce light glare.

Consult the CC & R's for your subdivision to see if bulkheads, piers or other structures will be allowed in the lake or waterway adjacent to your house.



#### E) Site Lighting

Exterior pool, dock, pier or landscape lighting must not infringe upon adjacent neighbors. All accent lighting should utilize low voltage, direct task type fixtures, and should be as close to grade as possible. All exterior lighting must be approved by the Architectural Review Committee prior to installation.

#### F) Security Flood Lighting

Security Flood Lighting must not infringe upon adjacent neighbors. Exposed Security lighting is prohibited on street facades of all structures. Homeowners should use recessed "can" or hidden fixture lighting in these locations.

#### G) Basketball Goals

Basketball goals if installed on a lot shall be located behind the front facade of a home. The basketball goal in all cases must be located behind the front, side and rear yard setbacks. The intent of this requirement is to not have basketball goals become a dominant site feature located in front yards. All basketball goal locations must be approved by the Architectural Review Committee prior to installation.

### ARCHITECTURE

The Clipper Estates Community will be influenced by many architectural styles as the region has such a diverse and colorful stock of domestic architecture. The Plantations, The French Quarter, Creole Cottages, West Indies, Greek Revival, Acadian, Country Houses, Victorian Shotguns and The Gulf Coast represent many examples of period architecture. By contrast, you may choose to custom design a contemporary design utilizing architectural elements from other periods. The design and construction of your new home is a very personal and exciting opportunity. With a little research and by driving through established neighborhoods, you may find the perfect "look and feel" of a home for your family. It is the intent of the Architectural Review Committee to bring your dream house to a reality while insuring your ideas blend and are harmonious with the entire community. In fact, the Architectural Review Committee wishes the Clipper Estates Community will become one of those "classic" neighborhoods that will be admired and driven through for ideas in years to come.

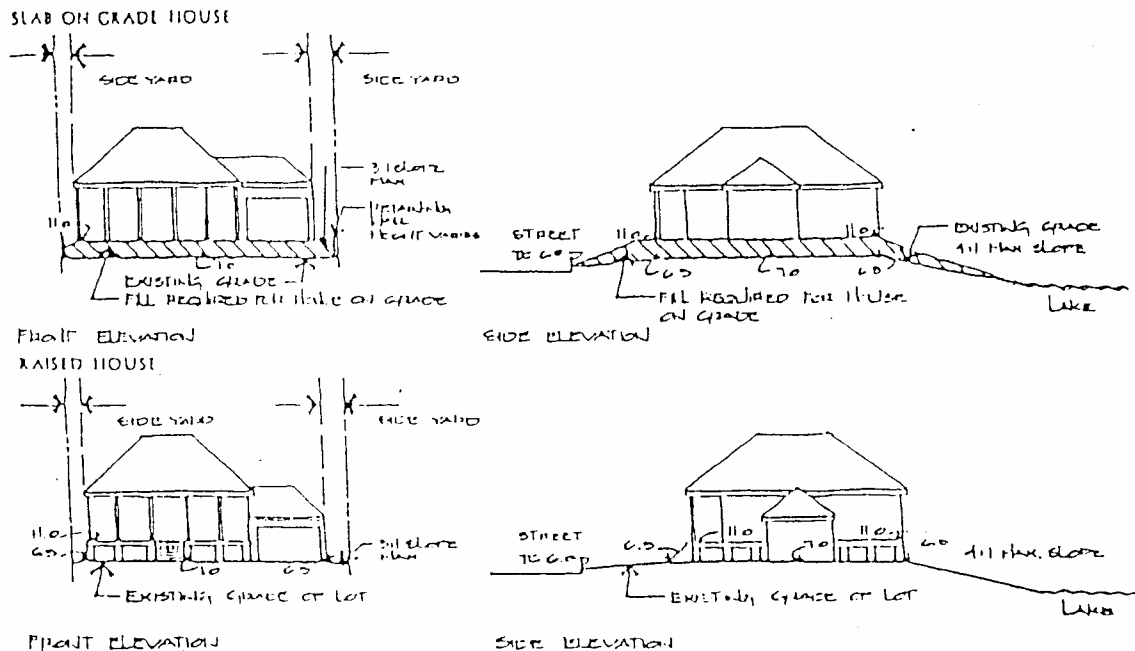


These guidelines provide you with a selection of materials and ideas that will compliment the Clipper Estates Community while assuring your investment is protected and enhanced as other residences are constructed around your home. The Design Review Process requires that you make a timely and complete submission to the Architectural Review Committee, urging you to "think through" all the features and details of your home. You and your family, by participating in this Process, will be surprised and proud of your success as moving day approaches.

## Foundations

The finished elevation of the first floor in your house is required by the Federal Emergency Management Agency (FEMA) standards to be a certain elevation above sea level, the St. Tammany Parish building permit office currently provides this elevation for your lot. Because the Architectural Review Committee discourages the use of excessive fill on each homesite, your Architect should explore design styles indigenous to the New Orleans area. Elevating the first floor on brick piers to allow airflow beneath the house was a common treatment before air conditioning and waterproofing became commonplace. This treatment allows ventilation beneath your house thus providing additional cooling. Raising the front entry above the roadway also makes for a grand entry statement to your new home.

In addition, a raised house will further reduce the requirement for fill, retaining walls and erosion control materials. Due to the lack of fill, existing trees may be saved.



## Height Bulk and Mass

To protect the visual integrity of the Clipper Estates Community, no house will be allowed an overall height greater than thirty-five (35') feet, measured in accordance with the St. Tammany Parish Zoning Ordinance.

Depending on the lot you've purchased, you will be required to construct a house of a minimum prescribed size. This size is measured as the total enclosed living space, not including garages or porches. Consult the Supplementary Declaration of Covenants, Conditions and Restrictions for your subdivision.

## Exterior Treatments

The exterior treatment of your residence is the most visible part of the final design. The use of materials appropriate and indigenous to the region is essential for the creation of a cohesive and harmonious neighborhood. Toward this end, the Architectural Review Committee will review all exterior finish material selections and approve them based on their compatibility with surrounding structures as well as the Clipper Estate Community theme.

### A) Materials

Materials such as stucco, weatherboard, and brick are common to many of the region's homes built over the past century. In recent years, a trend to use materials that appear "old" (including factory distressed beams, brick and metals) has developed. The use of these materials often "cheapens" the overall look of the community and, as such, the Architectural Review Committee will prohibit the use of materials such as "factory antiqued" bricks, artificial or fieldstone veneers, fake stone, lava rock or imitation or poorly replicated wrought iron filigree, composition board or press board sidings and any other material that the Architectural Review Committee feels is not in keeping with the surrounding design and aesthetics of the Clipper Estates Community.

### B) Colors

The color of your house should be chosen to compliment the surrounding environment while projecting your own personality and taste. All colors shall be approved by the Architectural Review Committee prior to their application. A minimum number of colors should be selected: preferably a "base" or "background" color for the majority of your residence's exterior, a "secondary" or trim color for eaves, fascia, porch and balustrade railings, and an accent color for shutters, beaded trim molding, column finials and other fine detailing.

## Details

As builders and homeowners alike strive to keep the cost of their house affordable, sacrifices are often made that ultimately compromise the quality of both the appearance of the finished structure as well as the community. The exterior detailing of your house is one of its most critical design aspects. However, quality detailing designed with restraint and taste can cost far less than trite imitation embellishment and have far greater impact if properly applied.

The region has a rich and varied palette of housing styles which makes for a virtual "living textbook" to be reviewed, explored, imitated, interpreted or abstracted. Review many of the fine examples of detailing the City of New Orleans has to offer before hastily accepting your new home's appearance!

Suggested details to be explored are:

A) Doors

Consider sidelights, top lights, fanlights and/or transoms. Explore beveled glass in the door itself, paneled doors, arched opening or a combination of all of the above. Size of the door and opening should be grand and in proportion with the exterior elevation of your new home.

B) Windows

Tall multi-paned windows are in architectural tradition. In addition to providing more interior light, they give your house a more airy and inviting quality. 6 over 9, 6 over 6 double hung windows with molded cornices and sills will all add to the appearance and richness of your home.

C) Shutters

Originally designed for hurricane protection and screening purposes, shutters have become a standard detail for almost any home. However, their most recent applications have been purely for decoration and are often nonfunctional and not in proportion with the windows they adjoin.

Applied shutters are an acceptable detail, and should be designed in proper proportion to their windows. The Architectural Review Committee strongly encourages that your shutters be operable.

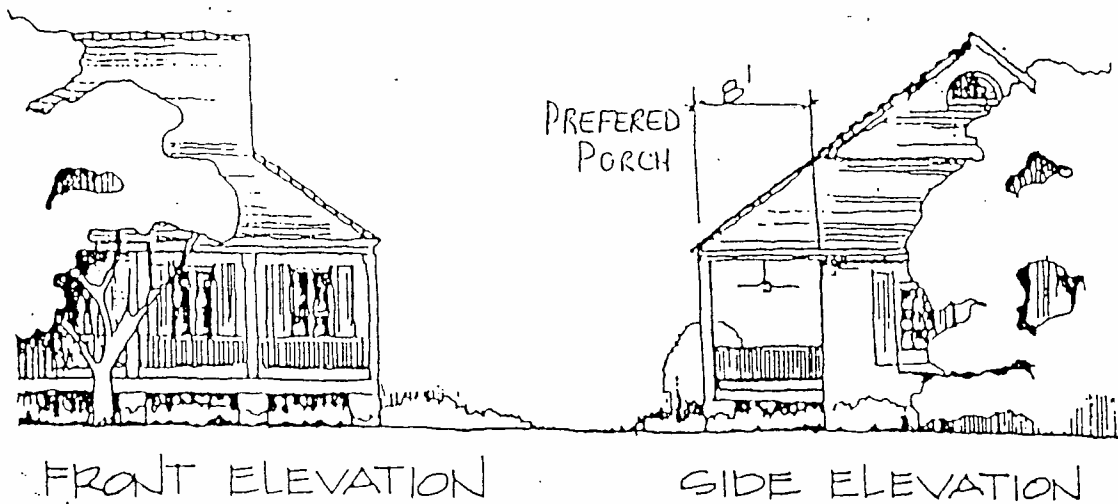
D) Fascia, Eaves and Soffits

The point where the roof ends and the facade begins is important both visually as well as physically. Properly sized molding, to afford a feeling of strength and solidarity, is critical. Ornamentation such as dentils, medallions or simple half rounds offer richness and texture to the design.

**Porches**

Over the past 35 years, the front porch has disappeared from the design and construction of many new homes. While once a very significant and functional social space for the Southern home, the advent of air conditioning and “family rooms” turned residences inward, thus eliminating the need for front porches and verandas.

More recently, the front porch is making a comeback as an architectural feature for many new houses. The Architectural Review Committee strongly advocates the inclusion of a well-designed porch or veranda. More favorable consideration will be given to requests for restriction variances, if the design includes this feature.



There are many fine examples of porches in the region. Contemporary interpretations or authentic reproductions of such features as brackets, balustrades, colonnades, piecework and openwork friezes are all strongly advocated. Modern adaptations including ceiling fans and accent lighting should also be explored.

Your front porch should be carefully integrated into the overall design. As a rule of thumb, the minimum depth should be 8'-0". Avoid "tacking on" a front porch as a design afterthought. The final design should be a logical extension of both the floor plan and roof slope in order to give your home depth, grandeur, and visual interest from the street.

### Steps and Stairs

Because of the need to elevate your home, stairs become an important design element and a transition between yard elevation and finished floor. This entry stair can be a gracious progression to your home that lends a sense of drama to the overall appearance. The careful detailing of hand rails, risers and treads adds to the attention of your front door and should not be overlooked. Stairs made of wood, brick or stone are traditional in this area.

### Roofs

Roof design is important to the overall design of your new home. The roof of your house serves as a "cap" for the structure, both physically and visually. Therefore, it is important that the pitch, proportion and material of the roof be appropriate.

All roofs must have a minimum pitch of 6:12. Flat, gambrel or mansard roofs will not be allowed. Rooftop decks and balconies may be permitted by the approval of the Architectural Review Committee, upon review of their effect on the roof mass and adjacent structures.

A) Materials and Design

Roof material should be chosen to complement the surrounding residences and landscape, as well as the colors of your house. Standing seam metal roofs, slate, dimensional fiberglass and asphalt shingles, as well as clay and concrete tiles, are acceptable as long as the color selected is neutral and does not clash with surrounding structures. Acceptable colors are browns, greys or terra cottas. Copper or copper alloys are also a good choice.

B) Dormers

Dormers will provide both light and more floor area to the space within your roof, be it the second floor or an attic. They also serve to break a large roof mass while providing an opportunity to add further detailing to the front of your house.

C) Skylights

Skylights are acceptable as long as they are obscured from view and do not appear as an “added on” feature (inexpensive plexiglass bubbles would fall into this category). Work with fixed glass incorporated into the roof slope or consider the use of a moveable “roof window”. Skylights should be located on the rear or side elevation of your home, not the front.

Corrugated fiberglass will not be permitted either as a roofing or skylight material.

D) Solar Collectors

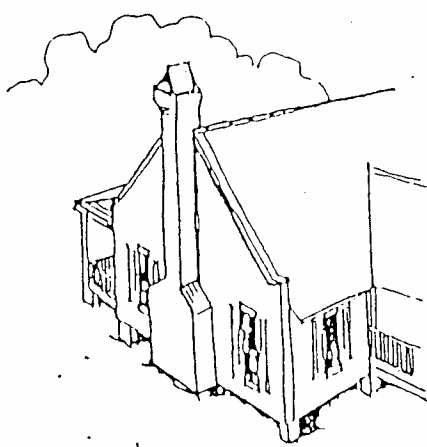
While the principles of a solar energy have been demonstrated to be beneficial and economical for residential construction, the appearance of solar hardware can be aesthetically obtrusive. Solar collectors must be properly integrated into the overall design of the home when exposed to view and hidden whenever possible. Collector panels should be carefully designed to relate to the architectural mass and material appearance of the home. If solar collectors are placed on the roof, they should be mounted parallel to the roof pitch and made as unobtrusive as possible. The Committee will discourage or reject any solar hardware of any size, shape or color that is insensitively designed or located. Therefore, all solar hardware must be screened from adjacent views and be acceptable by the Architectural Review Committee.

E) Chimneys and Stack Vents

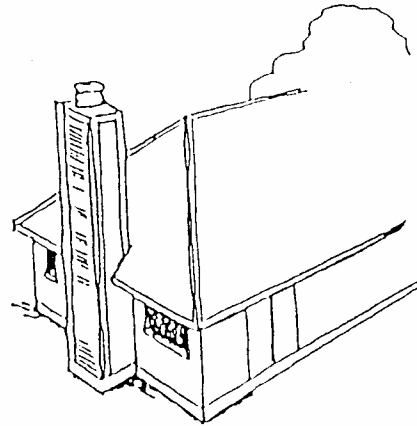
Chimneys are a strong design element and should be carefully placed to break up the roofing mass, as well as provide a “punctuation mark” for the house itself. All metal flume chimneys must be permanently and completely enclosed with brick, stucco or wood siding.

The proportion of the chimney, as well as the material selected to enclose it, should be chosen to provide a feeling of strength and solidity.

All stack vents and attic ventilators shall be located on the rear slope of the roof. They should be either painted out or enclosed in a veneer to minimize their impact.



THIS



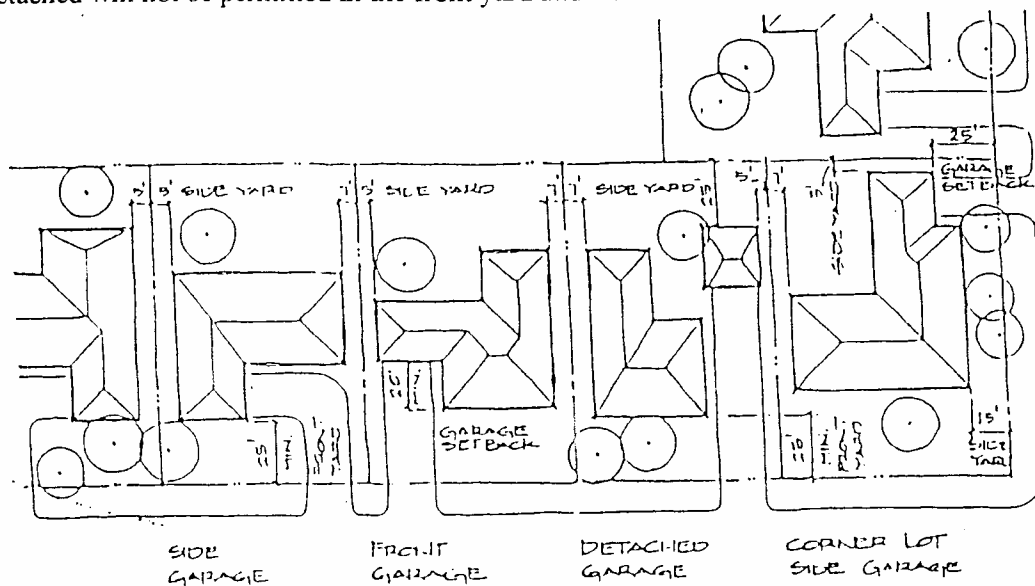
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### Ancillary Structures

#### A) Garages

Garages should be designed to blend with the main house utilizing the same materials. No garages will be permitted to face the opening to the street unless with a setback 20' from the front facade of the house; or garages may open towards the side yard or detached garages may be located in the rear yards only (See Diagram).

Garages shall be sufficiently sized to accommodate a minimum of two automobiles. Minimum plate height shall be 8'-0". If the garage is to be a free-standing structure, it must comply with all site setbacks and be compatible with the design of the main house. Open carports either attached or detached will not be permitted in the front yard and must not be visible from the street.



B) Gazebos

Gazebos serve as an outdoor gathering or seating area and are encouraged by the Architectural Review Committee as a unique design element. They should relate architecturally to the design of your house in both form and material. They should be sited to maximize views off the property or perhaps to provide a secluded sitting and gathering area.

Setbacks:       Side yards - 15'  
                  Rear Yard - 25'

C) Storage Sheds

Storage sheds should be custom designed and constructed. The materials used and the form of the structure must relate to your house. They should be sited in accordance with all setback guidelines. Prefabricated metal, aluminum, press board or wood sheds will be prohibited.

D) Air Conditioning Compressors and Meter Boxes

All air conditioning compressors, meter boxes and similar equipment must be visually screened from the street and side yard view by appropriately locating at the back of each residence and by screening with fences or landscaping, as approved by the Architectural Review Committee.

E) Decks

Decks should be a logical extension of your home's floor plan and exterior design. Particular attention should be paid to the detailing of the railings and stairs. Pressure treated southern pine, graded No. 1 or better, will be required as a minimum for deck construction. Decks not adjoining the home will adhere to a 15' side yard setback and a 25' rear yard setback.

F) Arbors and Trelliage

Arbors and trellises are an interesting way to extend your living area, provide shade, define a space, separate different use areas or just create a frame for hanging plants and vines. The wood members used to construct these should be sufficiently sized (6" x 6" or better) to give a solid and sturdy appearance. The horizontal members should be cleanly finished on all ends. Arbors and trellises constructed from poor grades of lumber, chain link fence, chicken or hog wire will be prohibited. These structures should be designed to complement the shape and mass of the home and not "tacked on" as an afterthought.

Prior to the construction of any on-site structure (including by not limited to those mentioned), approval must be received from the Architectural Review Committee. If you are unsure as to whether your project will require approval, please check with the Architectural Review Committee first.

## CONSTRUCTION RESTRICTIONS

### Operations

The established speed limit within the community is 25 miles per hour for construction vehicles, including light trucks and autos. This must be obeyed.

Contractors will use only the utilities provided on the immediate site on which they are working.

Any damage to the streets and curbs, drainage inlets, street lights, street signs, mailboxes, walls, etc., will be repaired by the responsible property owner or the Architectural Review Committee and such costs will be deducted from the \$1,000.00 damage deposit. If the cost of repairs exceed that of the damage deposit, the responsible property owner will be billed the difference.

Operators of vehicles are required to see that they do not spill any damaging materials while within the community and, if spillage of a load occurs, operators are responsible for cleaning up. If an operator does not cleanup a spill, the cost of the cleanup will be deducted from the \$1,000.00 damage deposit. If the cost of a cleanup, exceeds that of the damage deposit, the responsible property owner will be billed the difference. Please report any spills to the Clipper Estates Homeowners' Association as soon as possible.

If any telephone, cable TV, electrical, water, etc. lines are cut, it is your contractor's responsibility to report such an accident to the appropriate utility within 24 hours. The cost of repairs will be the responsibility of the lot owner.

No short cuts across the golf course are allowed.

No vehicles (trucks, vans, cars, etc.) may be left in the subdivision overnight. Construction equipment may be left on the site while needed, but must not be kept on the street.

There will be no washing of any trucks on the street. Washing of concrete deliver trucks is prohibited.

**Washing of concrete trucks on the construction site or within the roadway will not be permitted.**

Construction debris shall not be dumped on-site, disposal by hauling is the only permitted method.

Each Home Builder shall be required to provide a properly maintained "Port-O-Let" on-site during construction.

Providing your Home Builder with a copy of this section is recommended.

Loud radios or noise will not be allowed within the subdivision. This is distracting and discomforting to homeowners. Speakers mounted on vehicles or outside of houses under construction will not be permitted.



## Site Maintenance

### Vacant Lots:

Lots shall not be used as a dumping ground for rubbish. The cost of removal will be the responsibility of the property owner.

Grass and weeds shall be kept mowed to prevent unsightly appearance. Dead, diseased or damaged trees on any lot which might create a hazard to property or person shall be promptly removed and/or repaired. Cutting of weeds, or removal of dead and hazardous trees contracted by the Clipper Estates Homeowners' Association, necessitated by inaction on the lot owner's part, will be billed to the lot owner.

### Construction Site:

Contractors are required to keep their job sites as neat and clean as possible. Construction materials shall be stored in a neat and orderly manner at all times during construction. Mud from construction vehicles on Clipper Estates streets shall be removed before each day's end. Materials are not permitted to accumulate on any lot for a period exceeding 90 days from the first deliver.

All personnel working in the community are to insure that they will keep all areas in which they work or travel free of discarded materials such as lunch bags and odd materials. Objects should not be thrown out of cars and trucks. Stockpiling of any materials on adjacent lots is not allowed.

## Builder's Signs

Clipper Estates has established a standard builder's sign for use at each construction site. The general contractor, as well as his subcontractors, will be required to use this sign if they wish to have their businesses' names displayed during construction. These signs can be obtained from the Clipper Estates Sales and Information Center.

Individual signs tacked to existing trees or posts will not be permitted. Any such signs will be removed immediately by Clipper Estates without compensation to the contractor.

For Sale signs, whether an existing or a new home, will be limited to a maximum of 24 inches by 30 inches. Their design, as well as location on the site, shall have the approval of the Architectural Review Committee before installation. Any signs erected without approval will be removed.

## Disposal of Construction Debris

Trash and discarded materials must be removed weekly. All trash stockpiled for removal shall be located in the rear of the residence until removed. There will be no stockpiling or dumping on adjacent lots, on streets or in front yards. Trash not removed by the contractors on a timely basis will be removed by the Clipper Estates Homeowners' Association and billed to the responsible contractor, subcontractor or property owner.

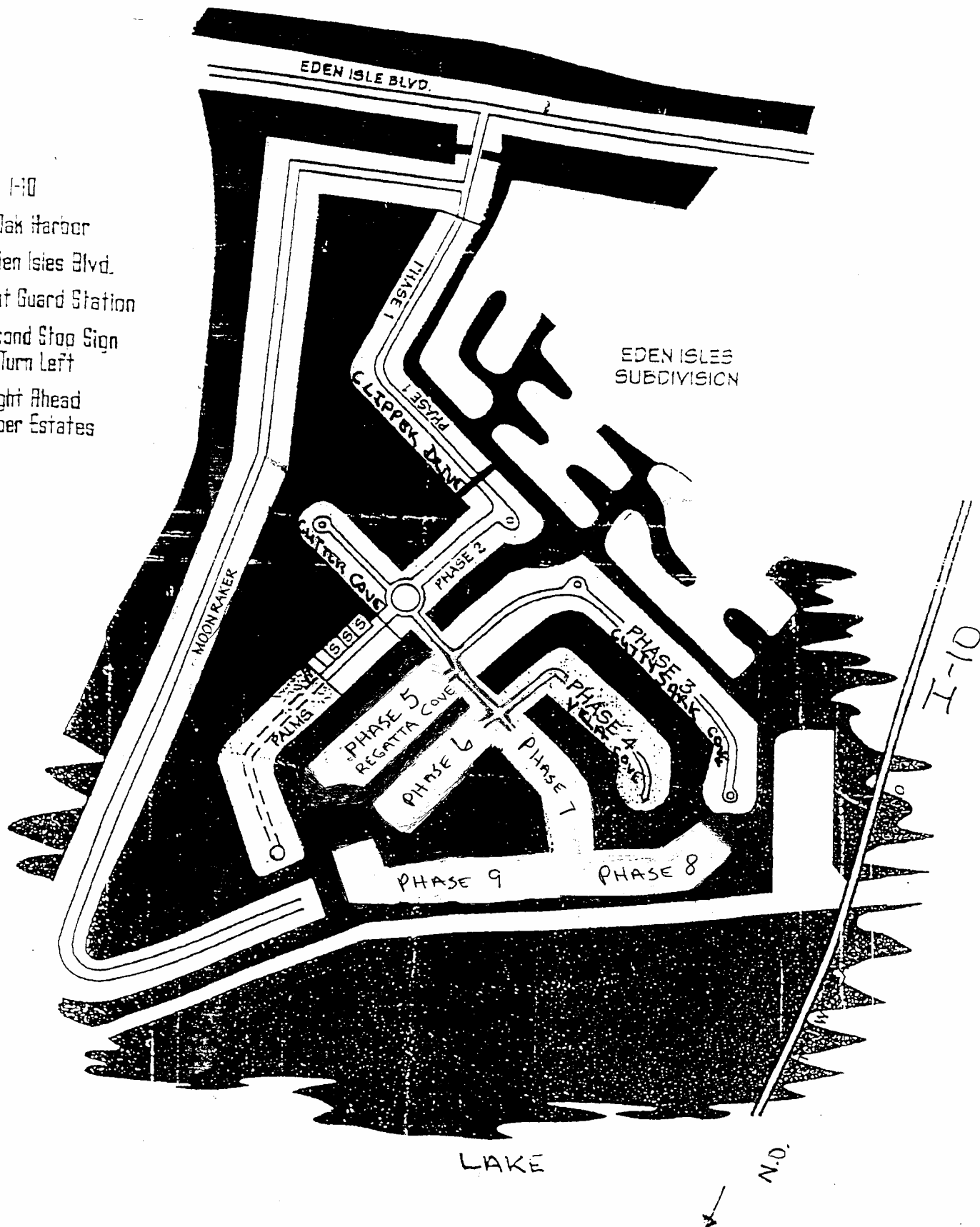
Trash, garbage or other waste shall be kept in a sanitary container that it is not visible from the street. All equipment for storage or disposal of such materials shall be kept in a clean and sanitary condition.

Burning of trash and waste material is prohibited.



# SITE LOCATION

I-10  
Exit Oak Harbor  
Go to Eden Isles Blvd.  
Turn Left at Guard Station  
Go to Second Stop Sign  
and Turn Left  
Straight Ahead  
to Clipper Estates



## **CLIPPER ESTATES APPROVAL CHECKLIST**

(New Homes, Exterior Remodels, Additions)

- 1) REVIEW DESIGN GUIDELINES WITH YOUR ARCHITECT
- 2) MEET WITH CLIPPER ESTATES ARC TO REVIEW CCR's and ANSWER QUESTIONS
- 3) COMPLETE APPLICATION FOR APPROVAL WITH FEE AND DEPOSIT
- 4) DESIGN REVIEW SUBMISSION
  - 1) Home Floor Plan
  - 2) Home Elevations
  - 3) Exterior Finish Samples
  - 4) Site Plan
  - 5) Grading and Drainage Plan
  - 6) Site Lighting Plan
  - 7) Landscaping Plan
- 5) REVIEW SUBMISSION WITH ARCHITECTURAL REVIEW COMMITTEE  
(revise if necessary)
- 6) **WRITTEN** APPROVAL OF DESIGN REVIEW SUBMISSION BY ARC
- 7) APPLY FOR ST. TAMMANY PARISH BUILDING PERMIT
- 8) **APPLY FOR COASTAL USE PERMIT**
- 9) ONCE PERMITES ARE RECEIVED COMMENCE CONSTRUCTION
- 10) STAGE INSPECTIONS
  - 1) Lot Fill and Containment
  - 2) Foundation
  - 3) Construction with Brick Ledge/Elevation Emphasis
  - 4) Framing (windows, doors, porches, etc. consistent with plans)
  - 5) Exterior Facing (bricks, stucco, siding, etc.)
- 11) GRADING AND DRIVEWAY/SIDEWALK, WALKWAY INSTALLATION
- 12) FINAL INSPECTION
- 13) CERTIFICATE OF COMPLIANCE

**CLIPPER ESTATES MASTER HOMEOWNERS ASSOCIATION, INC**  
**ARCHITECTURAL REVIEW COMMITTEE, *Request for Exterior Alteration***

Date: \_\_\_\_\_

Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Please complete this form in its entirety and indicate alteration below and provide full details of purpose and/or reason, type of materials and color(s) to be used and location on property. **Please note the setbacks/measurements of the improvement structure to all property lines.** A sketch of any improvements must be on a property plot plan indicating the location, setbacks and details to the home and property lines. Attach additional details, sketch to scale or architectural plan, materials, photos, specifications, etc. Homeowner is solely responsible for obtaining any necessary State of Parish permits. Once all necessary information is received, the committee will review and provide a written response.

- |                                       |   |   |                                      |  |
|---------------------------------------|---|---|--------------------------------------|--|
| <input type="checkbox"/> Tree Removal | <input type="checkbox"/> New Construction | <input type="checkbox"/> Fence            | <input type="checkbox"/> Pool/Cabana | <input type="checkbox"/> Pergola/Patio |
| <input type="checkbox"/> Paint        | <input type="checkbox"/> Driveway Ext.    | <input type="checkbox"/> Landscaping Plan | <input type="checkbox"/> Addition    | <input type="checkbox"/> Other         |

**Setbacks/Measurements to all Property Lines:** \_\_\_\_\_

Name of Contractor and phone number: \_\_\_\_\_

When the above is completed, please sign and email or drop off with details, sketches to:

Renaissance Property Management, 506 E. Rutland St., Covington, LA 70433  
OFFICE 985-624-2900 Email: info@renmgt.com

***A response letter from the Association will be mailed upon approval or denial of this request.***

**Signatures and acknowledgement of adjacent property owners:** This acknowledgement indicates an awareness of the intent and does not constitute approval or disapproval (if applicable, two signatures required):

Applicant's Name: \_\_\_\_\_

**Applicant Signature:**

\_\_\_\_\_

Applicant's Name: \_\_\_\_\_

**Applicant Signature:**

\_\_\_\_\_

**For Review Committee Use Only**



## **CLIPPER ESTATES MASTER HOMEOWNER ASSOCIATION**

### **ARC APPLICATION FEES**

Effective November 1, 2017

#### **New Construction House Plans:**

<b>Description</b>	<b>Total</b>	<b>Fee</b>	<b>Refund</b>
All Homes	\$3,000	\$700	\$2,300

#### **Renovations / Modifications All Phases:**

<b>Description</b>	<b>Total</b>	<b>Fee</b>	<b>Refund</b>
Boathouse / Bulkhead	\$450	\$200	\$250
Docks / Decks	\$450	\$200	\$250
Outdoor Kitchen	\$450	\$200	\$250
Swimming Pools	\$450	\$200	\$250
Fence	\$200	\$75	\$125
Fill / Grade Work	\$200	\$75	\$125
All Other Reviews	\$200	\$75	\$125